

City of Brisbane

Planning Commission Agenda Report

TO: Planning Commission

For the Meeting of 5/28/2015

FROM: Julia Capasso, Associate Planner, via John Swiecki, Community Development Director

SUBJECT: **316 Humboldt Road;** Variance V-3-15 and Grading Permit review EX-3-15 to allow construction of a new single-family home with a maximum height of 35 feet, 6 inches where 30 feet is the maximum height permitted; and to allow associated site grading including export of 416 cubic yards of soil from the site; James Trotter, applicant; Mike Glynn, owner; APN 007-301-160.

REQUEST: The applicant proposes construction of a 3,581 sq ft home, including a 579 sq ft attached secondary dwelling unit, on a vacant lot at 316 Humboldt Road. The 5,000 sq ft lot has a 24% slope and is subject to a 30 foot building height maximum per BMC §17.06.040. The applicant's plans call for a three-level home, with a two-car garage and secondary dwelling unit on the lower level and two levels of primary residence above. Two uncovered parking spaces would be provided in a driveway serving the primary residence, while an uncovered parking pad along the north (side) lot line would accommodate two tandem spaces for the secondary dwelling unit. The secondary dwelling unit complies with the standards for secondary dwelling units contained in BMC Chapter 17.43. If the application is approved, a secondary dwelling unit permit from the Planning Director would be required prior to building permit issuance.

The applicant's grading plan calls for 470 cubic yards (cy) of soil excavation, of which 54 cy would be utilized on-site as fill and 416 cy would be exported from the site. The City Engineer has determined that the submitted grading plans are satisfactory for the Planning Commission's Grading Permit review.

In order to move forward with the project as designed, the applicant requests approval of the following:

- A Variance to allow the new home a maximum height of 35 feet, 6 inches; and
- A Grading Permit to allow associated site grading including 416 cy of soil export from the site.

RECOMMENDATION: Conditionally approve Variance V-3-15 and recommend that the City Engineer issue Grading Permit EX-3-15, via adoption of Resolution V-3-15/EX-3-15 with Exhibit A containing the conditions and findings of approval.

ENVIRONMENTAL DETERMINATION: Construction of new single-family homes is categorically exempt from the provisions of the California Environmental Quality Act per Section 15303(a) of the CEQA Guidelines. The exceptions to this categorical exemption referenced in Section 15300.2 do not apply.

APPLICABLE CODE SECTIONS: The height limit for structures in the R-1 zoning district on lots with 20% or greater slope is 30 feet, per BMC §17.06.040. Building height is defined in BMC §17.02.400 and the findings required to grant a Variance to the height limit are contained in BMC §17.46.10. Grading permit review by the Planning Commission is required for projects involving site grading of 250 cy or more or 50 cy of soil export per BMC §15.01.081.A and BMC §17.32.220. Secondary dwelling units may be built in the R-1 zoning district in compliance with the development standards contained in BMC Chapter 17.43 and subject to permit approval by the Planning Director.

ANALYSIS AND FINDINGS:

Height Variance: The maximum building height for the subject property with a slope of 24% is 30 feet, per BMC §17.06.040. As designed, the northwest segment of the home adjacent to the parking pad would measure 35 feet, 6 inches in height. All other sections of the building, including those walls facing upslope neighbors to the rear (west) on Trinity Road, would comply with the 30 foot height limit.

In order to grant the requested variance to the building height limit, the Planning Commission must find that, because of special circumstances applicable to the property, such as its size, shape, topography, location, or surroundings, the strict application of the zoning ordinance would deprive the property of privileges enjoyed by other properties in the vicinity and same zoning district. Approval of a variance must also be subject to such conditions as necessary to ensure that the variance will not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and same zoning district. The application **would meet** these findings.

- **Special Circumstances Applicable to Subject Property:**

Along most of its frontage, the subject property is elevated between 4 to 6 feet above the Humboldt Road right-of-way. In the northeast corner of the property, however, a graded pad lies approximately 10 feet below the finished and (assumed) natural grade of the lot. This topographic anomaly makes it challenging for any new structure built within the allowable setbacks from the side lot line to comply with the 30 foot height limit at that location without imposing excessive setbacks or reductions to the lot coverage. The 28% lot coverage proposed by the applicant is already well below the maximum 40% lot coverage permitted by the BMC, and the 10 foot, 1 inch side setback and 15 foot front setback are more generous than the minimum 5 foot and 6 foot setbacks, respectively, required by the BMC.

It should be noted that even if the area were to be filled to raise the finished grade, the Code requires structure height to be measured from the existing grade prior to placement of fill (BMC

§17.02.400). Recognizing this, the applicant proposes retaining and expanding the existing area to provide the required 2 on-site parking spaces for the secondary dwelling unit, which otherwise would be difficult to accommodate on-site.

- Privileges Enjoyed by Others in the Vicinity Deprived to Subject Property:

Without approval of the requested variance to the building height limit, the subject property would be deprived of the ability to be developed with a home of consistent architectural character and in compliance with other development standards of the R-1 zoning district, including floor area and lot coverage. The proposed home would be of similar height to homes in the vicinity on the upslope side of Humboldt Road and Trinity Road, including 300 Humboldt Road and 14 Trinity Road which are both 30 feet in height or taller.

- Conditions Necessary to Prevent a Grant of Special Privilege:

The applicant has proposed setbacks to the adjacent side and front lot lines (10 feet, 1 inch and 15 feet, respectively) in excess of the minimum required, which help to reduce the perceived mass of the building wall when viewed from the public right-of-way and the adjacent neighbor to the north. To prevent a grant of special privilege, staff has included a condition of approval to retain these setbacks in the building permit plans.

Grading Permit review: In 2003, the Planning Commission adopted guidelines for reviewing grading permit applications that contain findings for permit approval. The application **would meet** these findings.

- The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography (General Plan Policies 43, 245 & 312 and Program 18a).

The applicant proposes 470 cy of soil excavation, of which 54 cy would be utilized as on-site fill and 416 cy would be exported off site. As indicated by the applicant's grading plan and sections, the proposed excavation is limited to the footprint of the home and parking areas, and is the minimum necessary to accommodate the new structure within the surrounding natural topography and provide required on-site parking.

By locating the driveway for the primary residence in a less steep portion of the lot's Humboldt Road frontage and expanding the existing graded pad for the secondary dwelling unit parking, the proposed driveway grading minimizes the excavation that would otherwise be necessary to provide the required off-street parking. In this case, the City Engineer may approve a curb cut in excess of the 18 ft maximum allowed per BMC §12.24.015 if he can find that it would not eliminate on-street parking or conflict with the Department of Public Works' street improvement plans. The City Engineer has reviewed and accepted the applicant's grading plan and driveway locations.

- The proposed grading is designed to avoid large exposed retaining walls (General Plan Policies 43 & 245).

The proposed grading would result in exposed retaining walls at the south side of the driveway (7 ft, 7 inches), the south side and west sides of the secondary dwelling unit parking pad (8 ft, 8 inches including railing, and 11 ft, 4 inches, respectively). Per BMC §17.32.050, retaining walls in any setback may exceed 6 feet in height provided that they are sufficiently screened by vegetation such that only 6 feet of the wall is visible. Staff has included this requirement as a condition of approval for all exposed walls.

- The proposed grading is designed to conserve existing street trees (as defined by BMC Section 12.12.020), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade.

The project plans do not call for removal of any trees on or off-site.

- The proposed grading complies with the terms of the San Bruno Mountain Area Habitat Conservation Plan Agreement and Section 10(a) Permit, if and as applicable (General Plan Policy 119 and Program 83b).

This finding does not apply as the subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.

ATTACHMENTS:

Summary of Project Data

Draft Resolution V-3-15/EX-3-15 with recommended Findings and Conditions of Approval

Aerial site map

Applicant's plans (annotated by staff)

Applicant's supporting statements

Summary of Project Data
316 Humboldt Road

| | | | | |
|--|-------------------|---|---|---|
| ADDRESS | 316 Humboldt Road | | | |
| APN | 007-301-160 | | | |
| ZONING DISTRICT | R-1 | | | |
| APPLICATION # | V-3-15/EX-3-15 | | | |
| Project Description Variance and grading permit for new single-family home on vacant lot over 30 foot height limit including 524 cy of site grading (416 cy export). | | | | |
| Development Standard | Existing | Proposed | Development Standard | Status |
| Lot Area | 5,000 SF | - | 5,000 SF | Complies with standard |
| Lot Slope | 24% | - | - | Staff calc based on topo plan submitted by applicant |
| Lot Coverage | - | 28% or 1,406 SF | 40% or 2,000 SF | Complies with standard |
| Setbacks | | | | |
| West Side Lot Line | - | 10 ft, 1 in. | 5 ft | Complies with standard |
| East Side Lot Line | - | 5 ft | 5 ft | Complies with standard |
| Rear Lot Line | - | 11 ft, 2 in. | 10 ft | Complies with standard |
| Front Lot Line | - | 15 ft | 6 ft (FYSB block average) | Complies with standard |
| Floor Area | - | 0.72 SF or 3,581 SF | 0.72 FAR or 3,600 SF | Complies with standard |
| Height | - | 35 ft, 6 in. | 30 ft | Does not comply with standard |
| Within 15 ft of front lot line | - | n/a | 20 ft | Complies with standard (no structure proposed w/in 15 ft of lot line) |
| Retaining walls | - | > 6 ft | 6 ft | PD can approve with screening plantings; req'd at BP |
| Parking | - | 2 garage, 2 driveway (main home); 2 on-site (SDU) | 2 covered, on-site; 2 on or off-site (main home); 2 on-site (SDU) | Complies with standard |
| Landscaping- FYSB | - | 181 SF | 15% of front yard setback area or appx. 79 SF | Complies with standard (detailed landscaping plan req'd at BP) |

Draft
RESOLUTION V-3-15/EX-3-15

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE
CONDITIONALLY APPROVING VARIANCE V-3-15 & GRADING PERMIT EX-3-15
FOR A NEW SINGLE-FAMILY HOME EXCEEDING THE 30 FOOT HEIGHT LIMIT
AT 316 HUMBOLDT ROAD

WHEREAS, James Trotter applied to the City of Brisbane for Variance and Grading Permit approval to construct a single-family dwelling with a maximum height of 35 feet, 6 inches and site grading including 416 cubic yards of soil export from the site at 316 Humboldt Road, such application being identified as V-3-15/EX-3-15; and

WHEREAS, on May 28, 2015, the Planning Commission conducted a hearing of the application, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15303(a) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested Variance and Grading Permit;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of May 28, 2015 did resolve as follows:

Variance V-3-15 is approved per the findings and conditions of approval attached herein as Exhibit A.

City Engineer issuance of Grading Permit EX-3-15 is recommended by the Planning Commission in compliance with the conditions of approval attached herein as Exhibit A.

ADOPTED this 28th day of May, 2015, by the following vote:

AYES:

NOES:

ABSENT:

TuongVan Do
Chairperson

ATTEST:

JOHN A. SWIECKI, Community Development Director

**DRAFT
EXHIBIT A**

Action Taken: Conditionally approved Variance V-3-15 and recommended City Engineer issuance of Grading Permit EX-3-15, per the staff memorandum with attachments, via adoption of Resolution V-3-15/EX-3-15.

Findings:

Variance V-3-15

1. The variance shall be subject to the conditions included herein to assure that the adjustment authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and within the R-1 zoning district in which the subject property is located.
2. Because of special circumstances applicable to subject property, specifically the significant drop in grade at the northeast corner of the site, the strict application of this title is found to deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification, namely the ability to be developed with a home of consistent architectural character and in compliance with other development standards of the R-1 zoning district, including floor area, lot coverage, and on-site parking.

Grading Permit EX-3-15

- As indicated by the applicant's grading plan and sections, the proposed excavation is limited to the footprint of the home and parking areas, and is the minimum necessary to accommodate the new structure within the surrounding natural topography and provide required on-site parking.
- The proposed grading would result in exposed retaining walls at the south side of the driveway and the south side and west sides of the secondary dwelling unit parking pad. The conditions of approval require installation of plantings to screen these walls.
- Per the submitted project plans, the proposed grading will not result in the removal of existing street trees, any California Bay, Laurel, Coast Live Oak or California Buckeye trees, or three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade.
- The subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.

DRAFT

Conditions of Approval:

Prior to Issuance of a Building Permit

- A. The applicant shall obtain a building permit and a grading permit prior to proceeding with construction. Plans submitted for the building and grading permits shall substantially conform to plans on file in the City of Brisbane Planning Department dated received May 11, 2015, with the following modification:
 1. A landscape plan shall be submitted demonstrating compliance with the requirements of Brisbane Municipal Code §17.06.040.I, to the satisfaction of the Planning Director. The plan shall incorporate water-conserving, non-invasive landscaping of sufficient size at maturity to provide screening of the exposed retaining walls in the front and side yards so that no more than six (6) feet of the height of the retaining wall will remain visible.
 2. Plans submitted for grading permit review shall be subject to standard review requirements and procedures by the Department of Public Works.
- B. Prior to issuance of a building permit, the applicant shall obtain an encroachment permit from the Department of Public Works for all proposed construction activity and private improvements within the public right-of-way. The City Engineer should waive the maximum curb cut specified in Brisbane Municipal Code §12.24.015.
- C. Prior to issuance of a building permit, the property owner shall enter into standard landscape maintenance agreements with the City.
- D. Prior to issuance of a building permit, an agreement shall be recorded between the owner and the City whereby the owner waives the right to protest the inclusion of the property within an underground utility district.
- E. Prior to issuance of a building permit, the applicant shall obtain a Secondary Dwelling Unit Permit from the Planning Director.

Other Conditions

- F. Removal of protected trees or other trees for which a permit is required under BMC §12.12.050 is not authorized under this application.
- G. All glass shall be nonreflective, and all exterior lighting shall be located so as not to cast glare upward or onto surrounding streets or properties.
- H. Water and sanitary sewer service and storm drainage details shall be subject to approval by the City Engineer.
- I. Drawings depicting all work completed and proposed shall be provided to the satisfaction of the City. Exposure of covered work may also be required to demonstrate compliance with building code requirements.
- J. The permittees agree to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim,

action or proceeding brought by any third party to attack, set aside modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts, or determinations taken, done or made prior to the granting of such approval, permit, or entitlement.

- K. Minor modifications may be approved by the Planning Director in conformance with all requirements of the Municipal Code.
- L. The Variance permit approval shall expire two years from its effective date (at the end of the appeal period) if a Building Permit has not been issued for the approved project or if the Building Permit, once issued, is allowed to expire prior to final inspection.

316 Humboldt Road

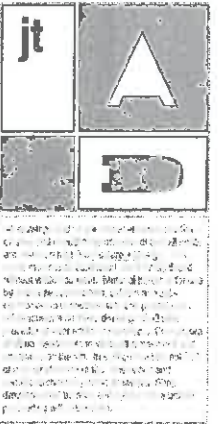


G.2.10

316 HUMBOLDT ROAD, BRISBANE, CA 94005

MAY 1 1963

Comm. Dev. Dept. Ericoane

[illegible]

PROJECT
GLYNN RESIDENCE
(New Construction)
316 Humboldt Road
Brisbane, CA 94005

DRAWING

COVER SHEET

| | |
|-----------|----------|
| NO: | 2013.12 |
| DRAWN BY: | JWT |
| SD: | AS NOTED |
| DATE: | 04-22-15 |

A0.0

DRAWING LIST

- ARCHITECTURAL**
- A0.0 COVER SHEET, PLOT PLAN (KEY PLAN), CROSS-SECTIONS & PLOT DATA
- T5.1 TOPOGRAPHY MAP, EXISTING CONDITIONS (1/8"=1'-0")
- A0.1 SITE PLAN w/GRADING & DRAINAGE (1/8"=1'-0")
- A1.1 FLOOR PLANS, FIRST & SECOND FLOORS (1/4"=1'-0")
- A1.2 FLOOR PLANS, GARAGE/IN-LAW LEVEL & ROOF PLAN (1/8"=1'-0")
- A3.1 EXTERIOR ELEVATIONS, FRONT/EAST & SIDE/SOUTH (1/4"=1'-0")
- A3.2 EXTERIOR ELEVATIONS, REAR/NEST & SIDE/NORTH (1/4"=1'-0")

EXISTING BUILDING

COASTAL BUCKWHEAT, CALIFORNIA PHACELIA AND GOLDEN ASTER FROM SAN BRUNO MOUNTAIN OR BAY AREA STOCK SHALL BE PLANTED

8" TREE (E) TO REMAIN

REQUIRED SETBACKS

8" TREE (E) TO BE REMOVED

HUMBOLDT ROAD

318 HUMBOLDT RD

REQUIRED SETBACKS

PARKING FOR IN-LAN

THE EROSION CONTROL HYDROSEED MIX FOR THE SITE AND THE STREET FRONTAGE SHALL CONSIST OF BLUE WILD RYE (*ELYSIA GLAUCUS*), PURPLE NEEDLE GRASS (*NAUSELLA PULCHRA*), IDAHO or RED FESCUE (*PESTUCA IDAHOENSIS*, or *P. RUBRA*) AND CALIFORNIA BROME (*BROMUS CARINATUS*), USING SEED STOCK FROM THE SAN FRANCISCO BAY AREA

PROJECT NORTH

KEY PLAN
SCALE: 1/16"=1'-0"

ELEVATION REFERENCE

- ELEVATION NUMBER
- ELEVATION NUMBER
- SHEET NUMBER

DRAWING REFERENCE

- DETAIL NUMBER
- SHEET NUMBER

WALL TYPE REFERENCE

- DOOR/HATCH DESIGNATIONS
- DOOR TAG (FLOOR/DOORS)
- WINDOW TAG (FLOOR/WINDOW) or WINDOW GROUPING

FINISH NOTE

- SEE INT. 1 EXT. ELEV. SHEETS

EQUIPMENT NOTE & TAG

- SEE EQUIP. SCHEDULE/ENLARGED PLANS

SHEET NOTES/KEYNOTES

- PER SHEET/PLANS (BASIC OR CGI)

REVISION SYMBOL

- (CLOUD AROUND REVISION / IDENTIFYING NUMBER)

MATCH LINE

- SHADED PORTION INDICATES THE SIDE SHOWN
- SURFACES TO ALIGN

WORK POINT, CONTROL POINT, OR DATUM POINT

- WORK POINT, CONTROL POINT, OR DATUM POINT

SECTION DETAIL

- COLUMN GRID LINE

PLAN OR SECTION DETAIL

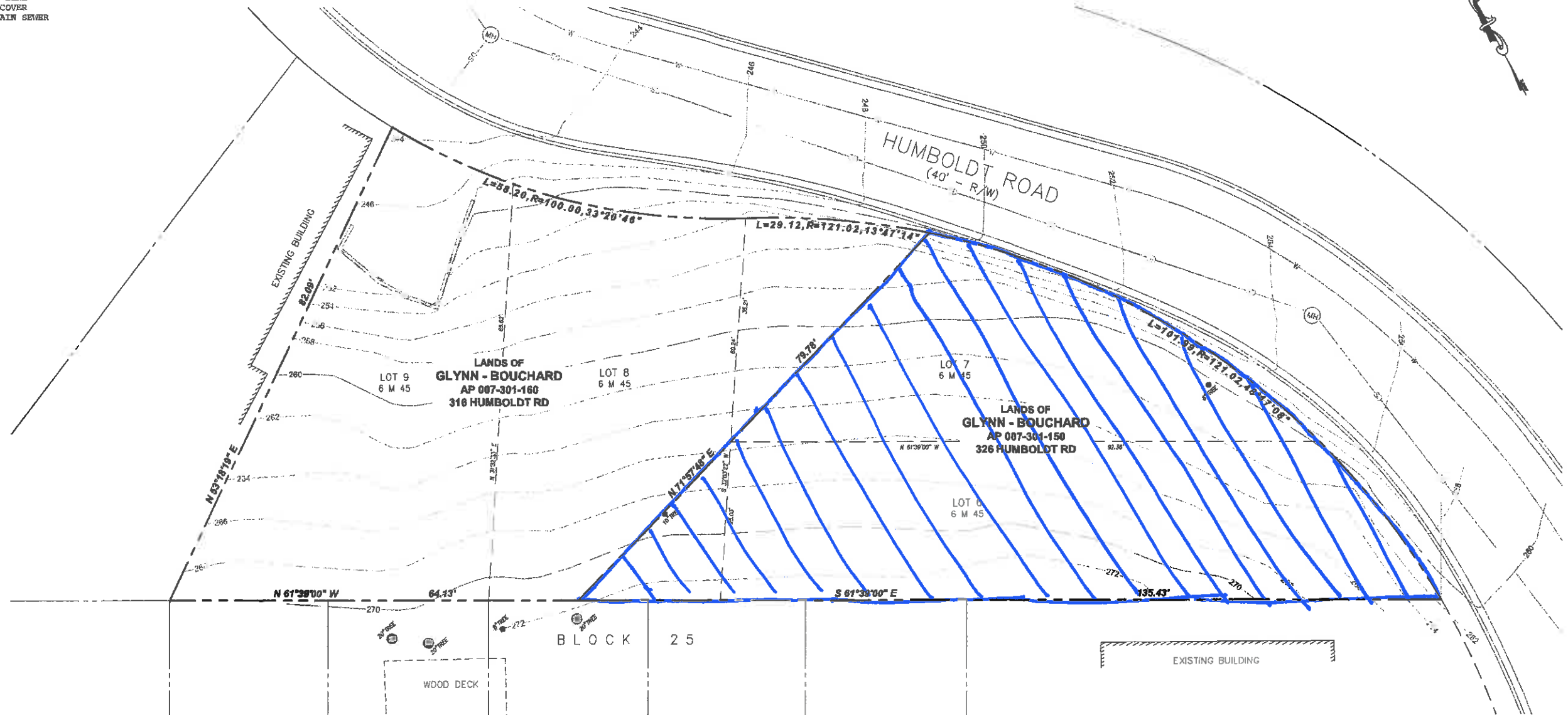
- DETAIL NUMBER
- SHEET NUMBER
- AREA TO BE DETAILED

LOT AREA: 5,000 sq.
PARCEL NUMBER: (APN) 007-304-160
FLOOR AREA (FAR): PROPOSED: 3,941 sq. (71.64); GARAGE INCLUDED (417 sq.); FAR ALLOWED=72.05
CONCRETE: PROPOSED, 1.06 sq. (20.81)
CEILING: TYPIC 9'0"
FOOTPRINT: GROUND FLOOR
BUILDING CODE: 1-6 (W/H-LAN)
DISTANCE TO FRONT YARD (CLOSEST): 6'-0" SIDE/SOUTH (CLOSEST); 11'-0" REAR/WEST (CLOSEST); 11'-0" SIDE/NORTH (CLOSEST)
GRAVING: CUT, 110 sq yds (H-LAN) + 367 sq yds (GARAGE/DRIVEWAY); FILL, 54 sq yds; APPROX NET SOILS REMOVED = 416 sq yds
PRIMARY SERVING CODES:
203 CALIFORNIA BUILDING CODE, 203 CALIFORNIA RESIDENTIAL CODE, 203 CALIFORNIA GREEN BUILDING STANDARDS CODE, 203 CALIFORNIA FIRE CODE, 203 CALIFORNIA MECHANICAL CODE, 203 CALIFORNIA PLUMBING CODE, 203 CALIFORNIA ELECTRIC CODE # 205 CALIF. ENERGY CODE

NEW SINGLE FAMILY RESIDENCE & IN-LAW UNIT WITHIN ALLOWED SETBACKS OF 5,000 SF PARCEL WITH FRONT SETBACK ORIENTED EAST. RESIDENCE PROPOSED TO BE CONSTRUCTED SIMULTANEOUSLY WITH THE SFR PROPOSED AT 526 HUMBLDUT ROAD ADJACENT TO THIS PROPERTY.

G.2.11

LEGEND
 --- SUBJECT PROPERTY LINE
 --- ADJOINER PROPERTY LINE
 --- BUILDING LINE
 MH MANHOLE COVER
 SD STORM DRAIN SEWER
 W WATER



UTILITY NOTE

UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THUS, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

BASIS OF BEARINGS

THIS BASIS OF BEARINGS FOR THIS SURVEY IS N19°14'29"E BETWEEN FOUND STANDARD WELL MONUMENTS PER 13 I.L.S. 49, FILED IN THE OFFICE OF THE SAN MATEO COUNTY RECORDER.

GENERAL NOTES

- 1) REFERENCED MAPS PER COUNTY RECORDER.
- 2) ALL ANGLES ARE 90°00' UNLESS NOTED OTHERWISE.
- 3) DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.
- 4) ELEVATIONS SHOWN ON ASSUMED LOCAL DATUM.

ORIGINAL SCALE: 1" = 8'

MUN K. LEE, ROE#25881
 EXPIRES 12-31-2013



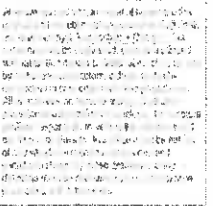
Topographic Map

LANDS GLYNN - BOUCHARD
 SAN MATEO COUNTY RECORDS
 CITY OF BRISBANE, SAN MATEO COUNTY, CALIFORNIA
 SCALE: 1/8" = 1'0" OCTOBER, 2013



LEE ENGINEERS, INC.
 1211 PARK AVENUE, SUITE 112
 SAN JOSE, CA 95126 TEL/FAX 408-293 3833
 leeengineers@sbcglobal.net

G.2.12

[illegible]

GLYNN RESIDENCE
(New Construction)
316 Humboldt Road
Brisbane, CA 94005

**SITE PLAN
w/GRADING & DRAINAGE**

NO: 2013.12
 DRAWN BY: JMT
 SIZE: 1/8"=1'-0"
 DATE: 04-24-15

A1.0



- A. STABILIZE ALL DENuded AREAS & INSTALL & MAINTAIN ALL TEMPORARY EROSION & SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCT. 15TH & APRIL 15TH OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
- B. STORE, HANDLE & DISPOSE OF CONSTRUCTION MATERIALS & WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH FRESHWATER.
- C. CONTROL & PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENTS CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS (NON-STORMWATER DISCHARGES TO STORM DRAINS & WATERCOURSES.
- D. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEMONSTRATING SITE & OBTAIN ALL NECESSARY PERMITS.
- E. AVOID CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED & TREATED.
- F. DELINEATE WITH FIELD MARKERS CLEARING LINES, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES & DRAINAGE COURSES.
- G. PROTECT ADJACENT PROPERTIES & UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DICES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- H. PERFORM CLEARING & EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
- I. LIMIT & TIME APPLICATIONS OF PESTICIDES & FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- J. LIMIT CONSTRUCTION ACCESS ROUTES & STABILIZE DESIGNATED ACCESS ROUTES.
- K. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE, CLEAN OFF-SITE PAVED AREAS & SIDEWALKS USING DRY SWEEPING METHODS.
- L. THE CONTRACTOR SHALL TRAIN & PROVIDE INSTRUCTION TO ALL EMPLOYEES & SUBCONTRACTORS REGARDING THE CONST. SITE.

SITE PLAN NOTES & CALCS

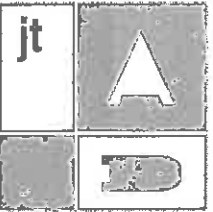
- 1) ALL SURFACE DRAINAGE IS EXISTING TO REMAIN U.O.N.
- 2) ALL DOWNSPOUTS SHALL BE HARD PIPED TO TERMINATE @ CITY STORM DRAIN SYSTEM AS NOTED ON SITE PLAN AND INDICATED IN EXTERIOR ELEVATIONS GRAPHICALLY.
- 3) PROVIDE POSITIVE (2%) SLOPE FROM ALL STRUCTURES WHERE (EXGRADING IS BEING ALTERED). NO FINAL GRADING IS TO INCREASE SHEET FLOOD INTO ADJACENT PROPERTIES.
MIN 2% = DRAINAGE AT 1/4" PER '2' MIN. (TYP U.S.N.)
- 4) PROVIDE IRRIGATION BUILTUPERS TO EACH TREE IN THE PLANTER STRIP WHERE APPLICABLE, TREES SHOWN ARE PROPOSED WITH APPROXIMATE LOCATIONS.
- 5) CALCULATIONS
GRADING CUT & FILL ESTIMATES:
IN-LAW: 96 sf x 29 ft = 2784 cu yd (65 cu yds/lot)
GARAGE/DRIVEWAY: 114 ft x 56 ft = 9982 cu yd (1367 cu yds/lot)
FILLS (incl in-law parking area), APPROXIMATELY 54 cu yds
STORMWATER CALCULATIONS (INCLUDING DECKS):
0.014 x 0.942 x 0.048 (218sf) = 0.125 cfs @ 604.94 = 56.25 gpm



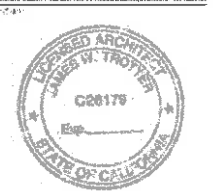
CROSS-SECTION DIAGRAMS

SCALE: $1/8'' = 1'-0''$

G. 2. 13



Architectural description and project information text.



Comments section header.

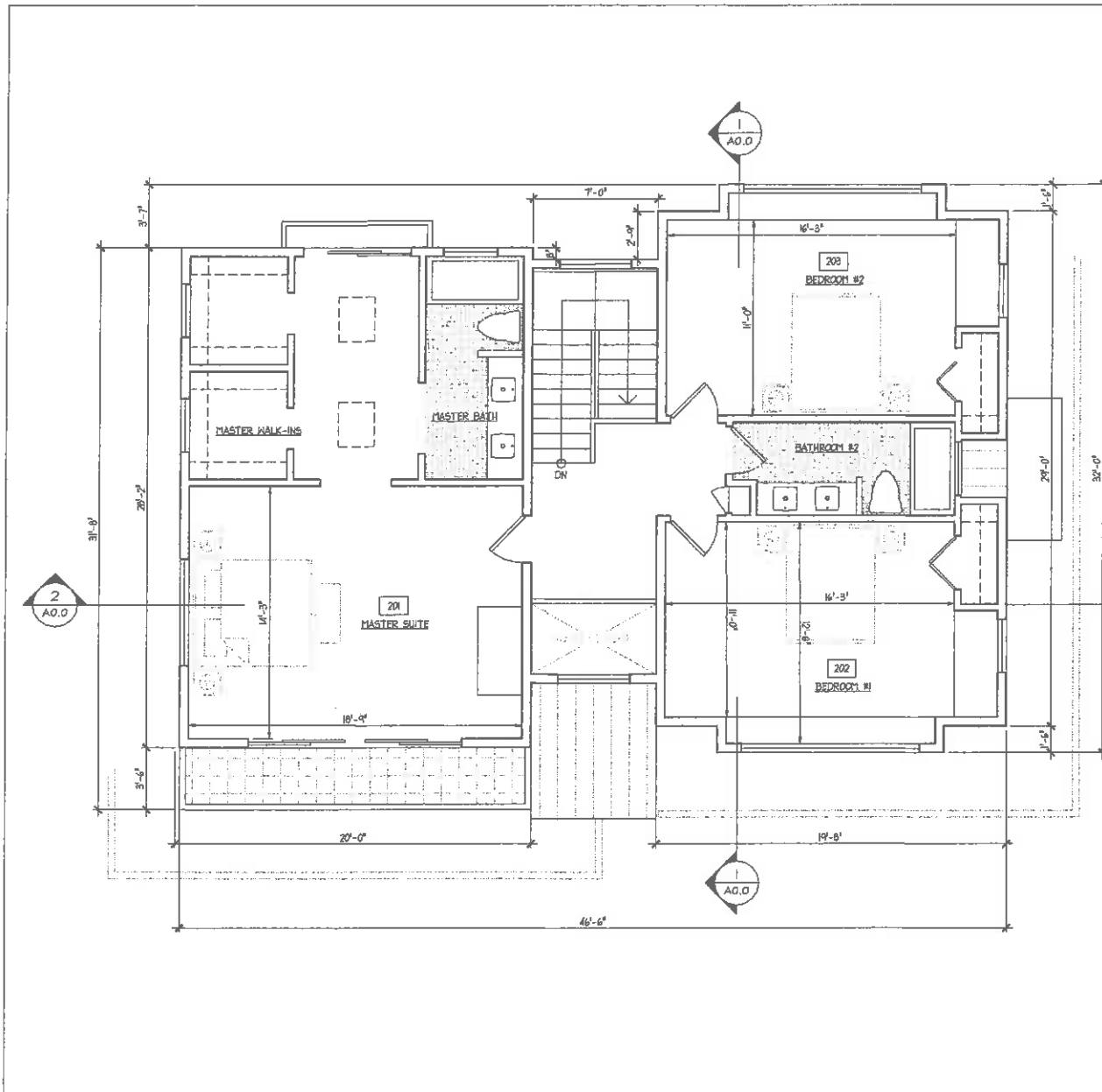
Comments section for project notes.

| REVISIONS | | |
|-----------|--------------------------|----------|
| No. | Description | Date |
| 1 | GRADING PERMIT SUBMITTAL | 04/22/15 |
| 2 | GRADING PERMIT REVIEW | 04/28/15 |
| 3 | GRADING PERMIT REVIEW | 05/11/15 |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
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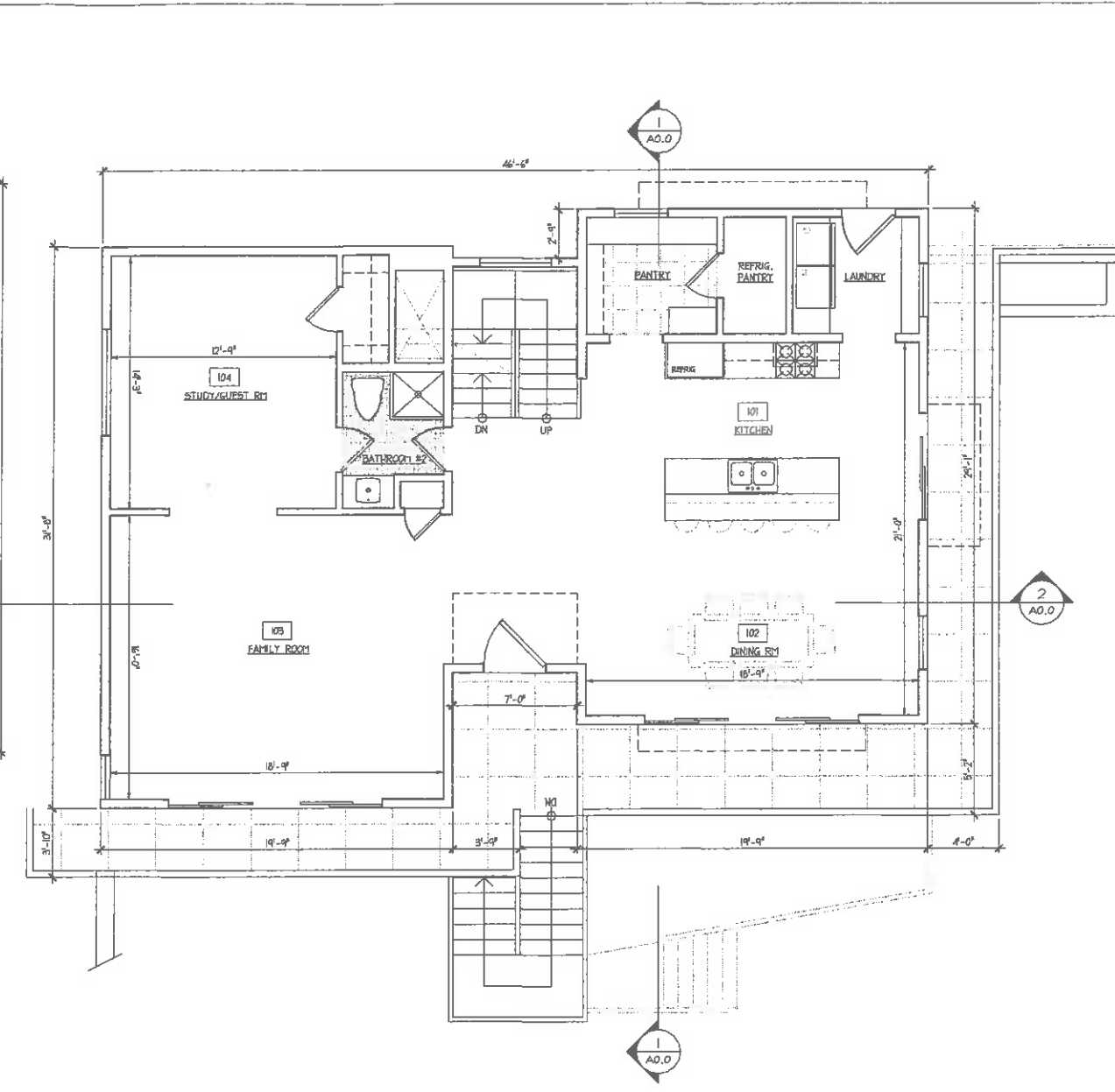
PROJECT
GLYNN RESIDENCE
(New Construction)
315 Humboldt Road
Berkeley, CA 94705

1ST & 2ND FLOOR PLANS

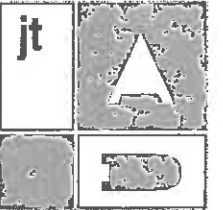
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| NO: | 2013.12 | A1.1 |
| DRAWN BY: | JMT | |
| SCALE: | 1/4"=1'-0" | |
| DATE: | 04-22-15 | |



2 2ND FLOOR PLAN (BEDROOMS)
FLOOR AREA: 1,169 sf (1,252 sf) SCALE: 1/4"=1'-0"



1 1ST FLOOR PLAN (MAIN)
FLOOR AREA: 1,231 sf (1,276 sf) SCALE: 1/4"=1'-0"



ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTERLINE UNLESS OTHERWISE NOTED. FINISH GRADE IS INDICATED BY A DOTTED LINE. ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED. THE ARCHITECT ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED.



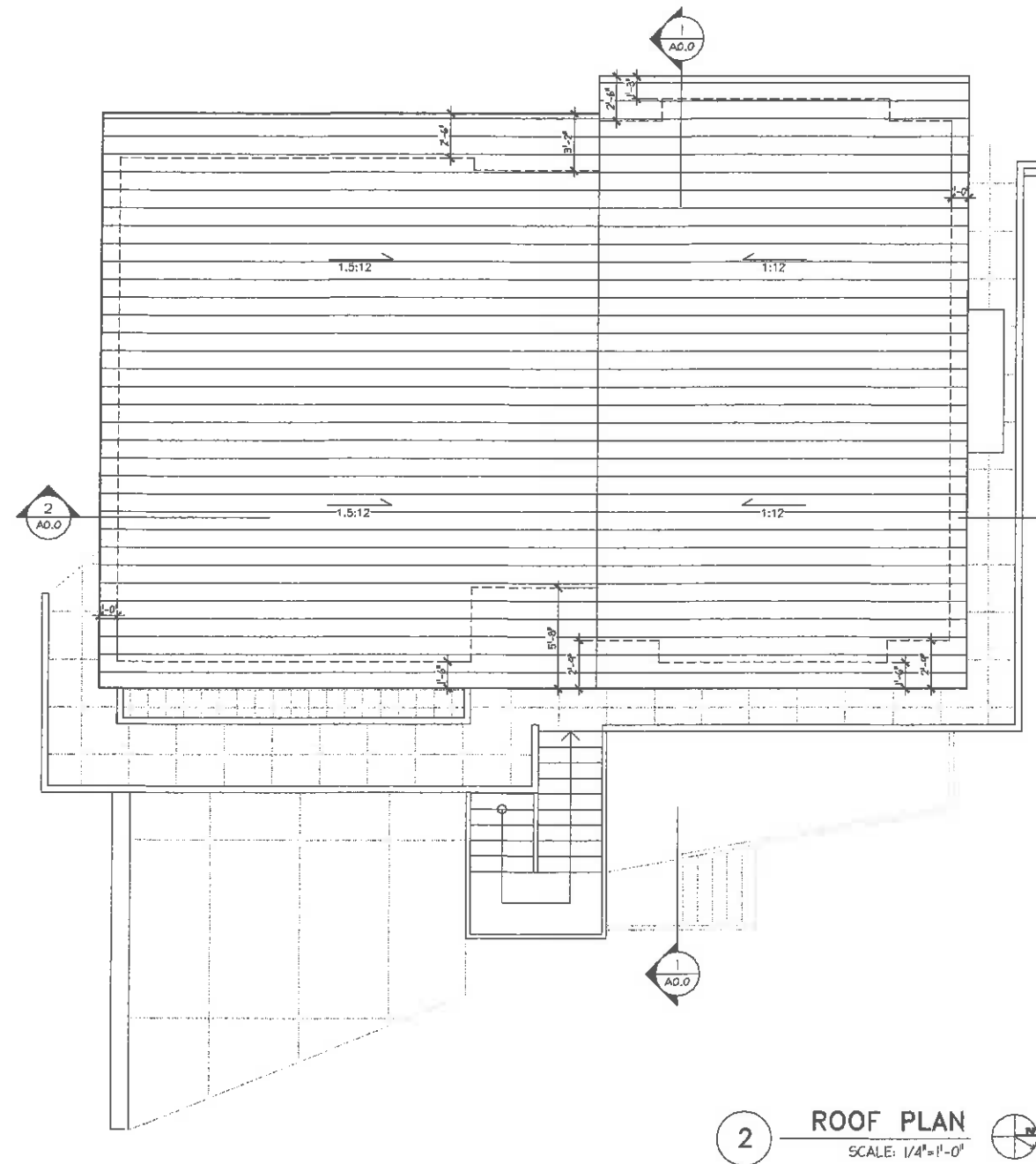
COMMONS

| REVISIONS | | |
|-----------|-------------------------|----------|
| No. | Description | Date |
| 1 | GRADING PERMIT SUBMIT | 04/22/15 |
| 2 | GRADING PERMIT REVISION | 04/28/15 |
| 3 | GRADING PERMIT REVISION | 05/11/15 |
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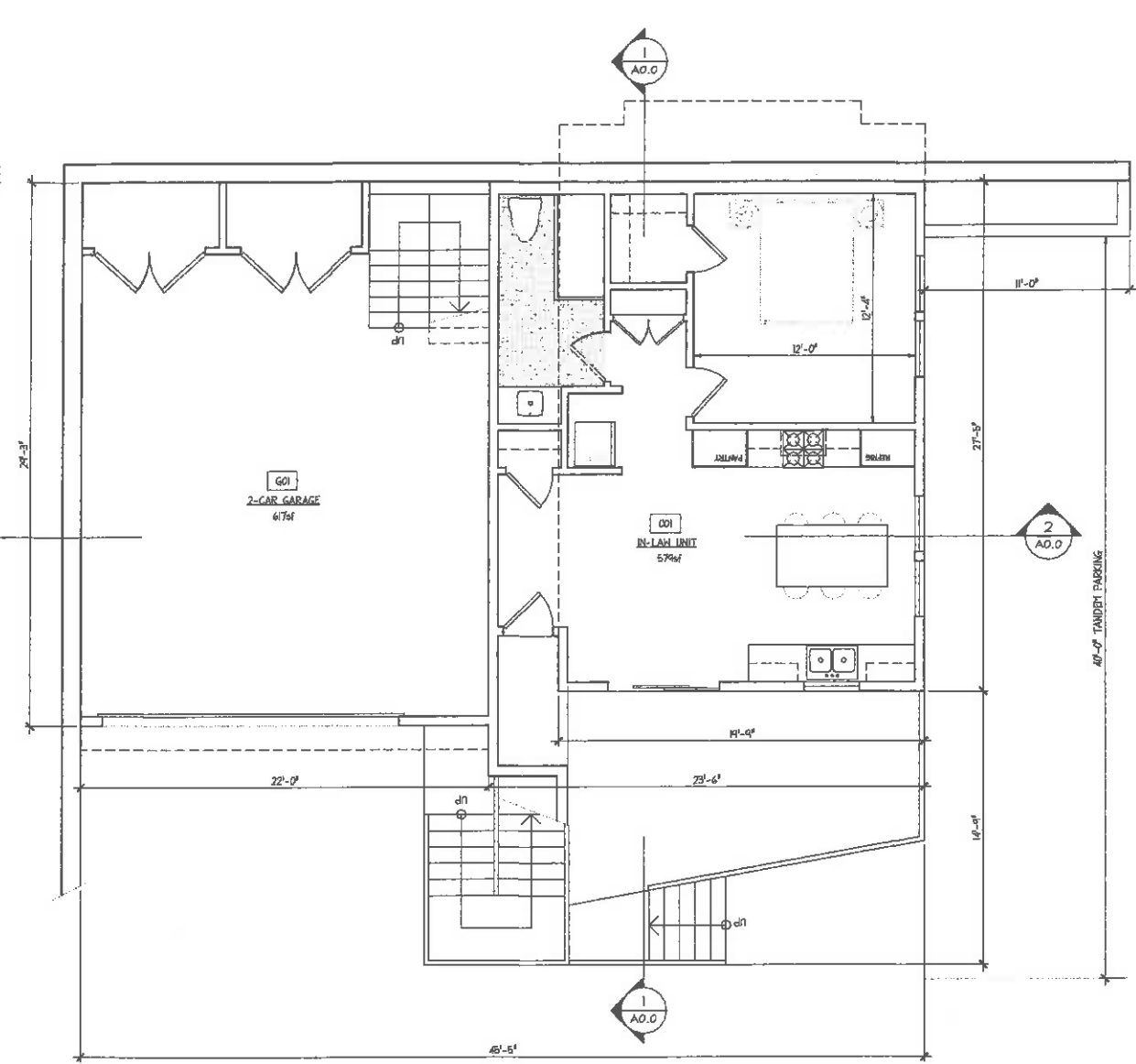
PROJECT
GLYNN RESIDENCE
(New Construction)
318 Humboldt Road
Brisbane, CA 94005

DRAWING
GARAGE & IN-LAW LEVEL
PLAN & ROOF PLAN

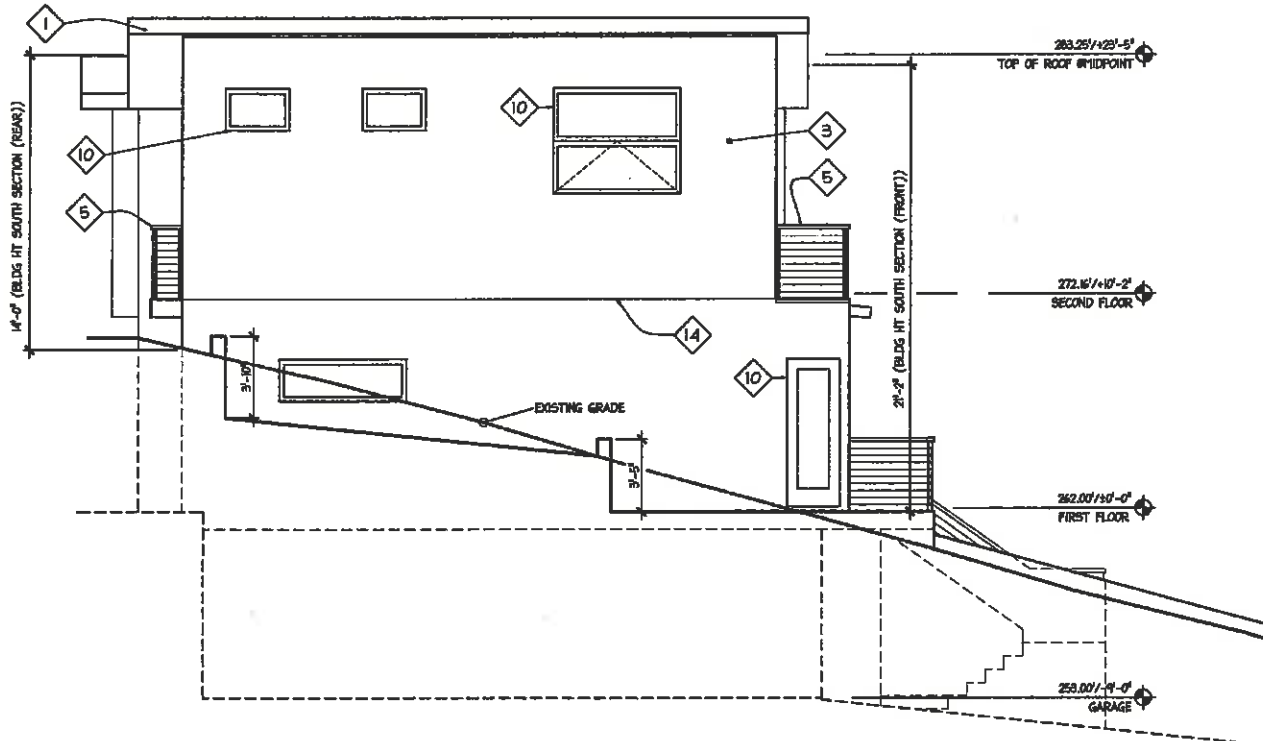
NO. 2013.12
DRAWN BY JMT
SCALE 1/4"=1'-0"
DATE 04-22-15
A1.2



2 ROOF PLAN
SCALE: 1/4"=1'-0"

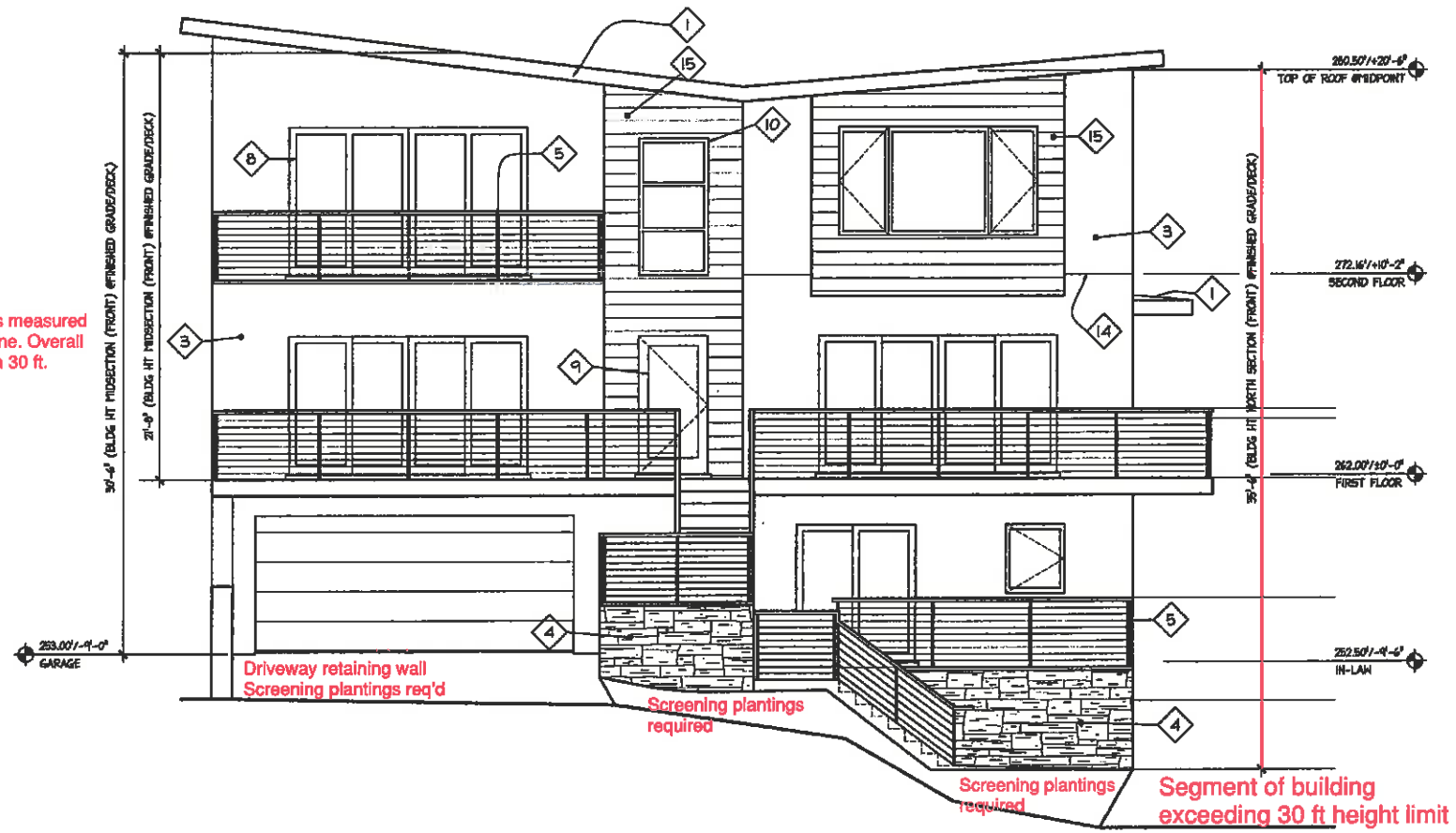


1 GARAGE & IN-LAW LEVEL PLAN
FLOOR AREA: 1,181 sf (617 sf GARAGE)
SCALE: 1/4"=1'-0"

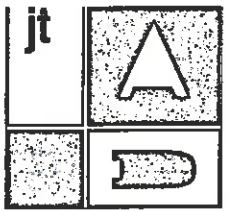


2 EXT. ELEVATION (SIDE/SOUTH)
SCALE: 1/4"=1'-0"

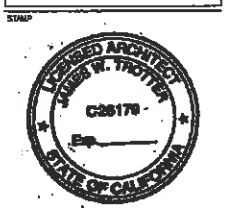
| EXTERIOR ELEVATION NOTES | | | |
|--------------------------|---|----|--|
| 1 | STANDING SEAM METAL ROOF (16" PANELS, COLOR TBD) | 10 | ALUM CLAD WINDOWS, RECESSED/NO TRIM, METALLIC COLOR TBD |
| 2 | PAINTED HEAVY GA GALVANIZED EDGE / GUTTER / DOWNSPOUT (ALT. COPPER) | 11 | CAPSTONE (CULTURED STONE OR SIM) |
| 3 | INTEGRAL COLOR STUCCO (COLOR TBD BY OWNER) | 12 | TYP. EXTERIOR WALL SOUNCE (TIMED W/SONAR CONTROLS U.O.N. IN PLANE) |
| 4 | STONE VENEER (CULTURED STONE OR SIM) | 13 | BRONZE NUMERALS |
| 5 | CLEAR COATED IPA or CEDAR CAP RAIL, STEEL CHANNEL & CABLE RAILING | 14 | CLEAR ANODIZED ALUM REVEAL(S), MIN 1/2" WIDTH |
| 6 | HORIZ. PLANKS OR SLATS FOR SCREENING; HARDWOOD SPECIES TBD | 15 | FIBER-CEMENTITIOUS LAP SIDING (SMOOTH) WITH FILTERED CORNERS, JAMES HARDIE ARTISAN LINE OR SIM; ALT: VARNISHED CEDAR PLAN SIDING |
| 7 | PAINTED FASCIA BOARD, SMOOTH FINISHING GRAIN | 16 | FIBER-CEMENTITIOUS PANELS (VERTICAL CLADDING, SMOOTH), JAMES HARDIE LINE OR SIM; ALT: HARDWOOD VENEER |
| 8 | ALUM CLAD FRENCH SLIDING DOORS AND/OR FRENCH PATIO DOORS | 17 | NOT USED |
| 9 | ALUM CLAD FRENCH DOOR W/RIEDED GLAZING PANEL TBD BY OWNER | 18 | NOT USED |



1 EXT. ELEVATION (FRONT/EAST)
SCALE: 1/4"=1'-0"



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COMMENTS

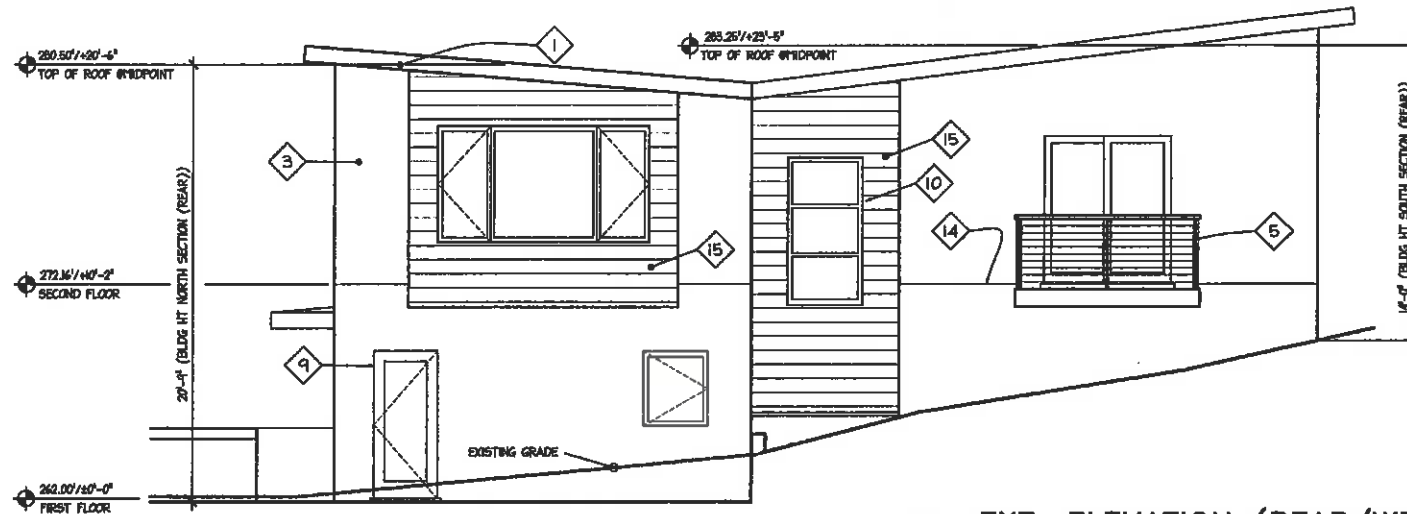
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|-----------|-----------------------|----------|
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| 2 | GRADING PERMIT REV#1 | 04/28/15 |
| 3 | GRADING PERMIT REV#2 | 05/05/15 |
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PROJECT
GLYNN RESIDENCE
(New Construction)
318 Humboldt Road
Brisbane, CA 94005

Drawings
EXTERIOR ELEVATIONS

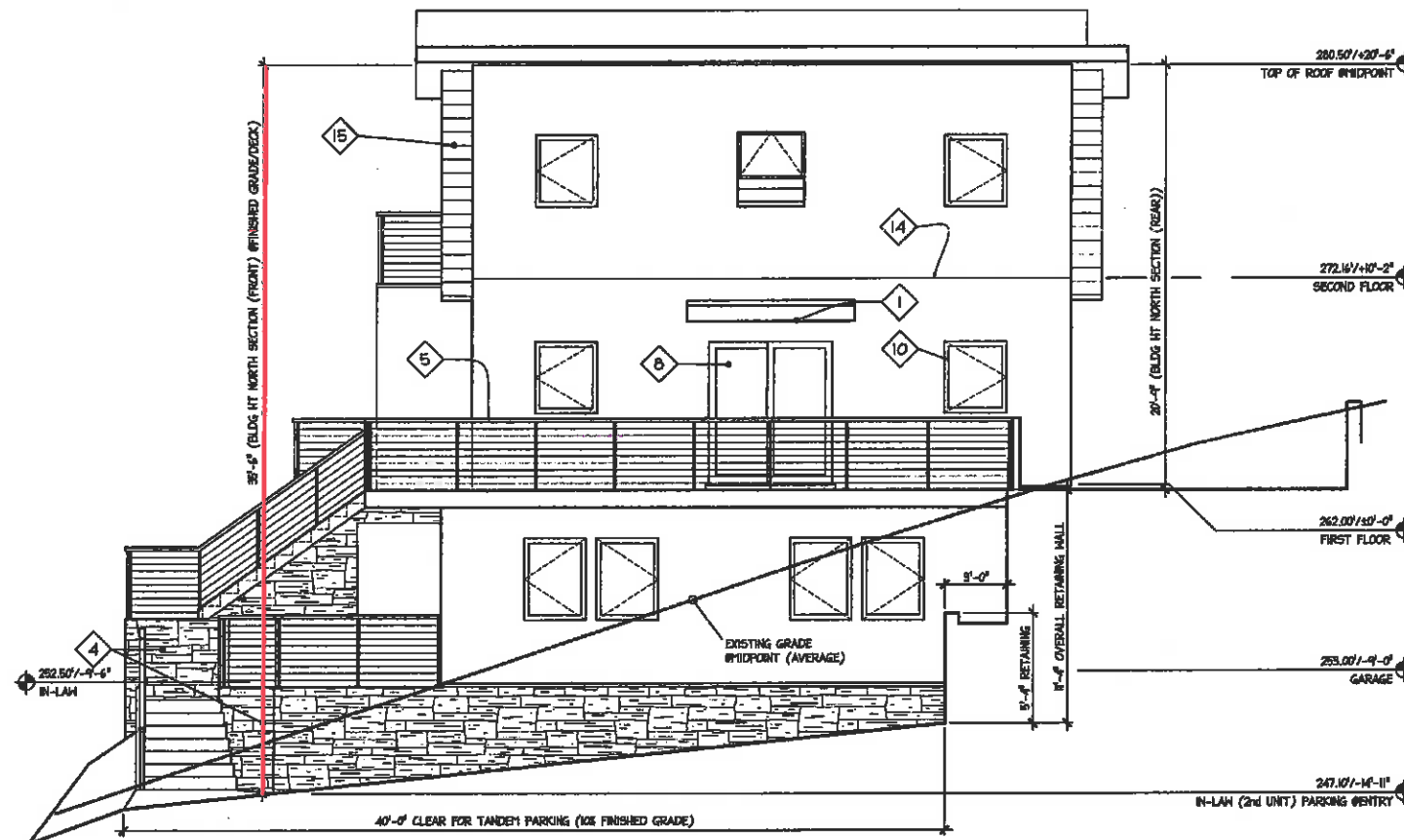
NOV 2013.12
DRAWN BY JNT
SCALE 1/4"=1'-0"
DATE 04-22-15
A3.1

G.2.16



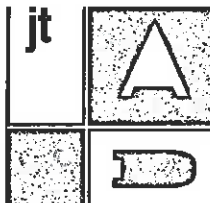
2 EXT. ELEVATION (REAR/WEST)
SCALE: 1/4"=1'-0"

| EXTERIOR ELEVATION NOTES | | | |
|--------------------------|---|----|---|
| 1 | STANDING SEAM METAL ROOF (16" PANELS, COLOR TBD) | 10 | ALUM CLAD WINDOWS, RECESSED/NO TRIM |
| 2 | PAINTED HEAVY GA GALVANIZED EDGE / GUTTER / DOWNSPOUT (ALT. COPPER) | 11 | CAPSTONE (CULTURED STONE OR SIM) |
| 3 | INTEGRAL COLOR STUCCO (COLOR TBD BY OWNER) | 12 | TYP. EXTERIOR WALL SCOECE (TIMED W/SONAR CONTROLS U.O.N. IN PLANS) |
| 4 | STONE VENEER (CULTURED STONE OR SIM) | 13 | BRONZE NUMERALS |
| 5 | CLEAR COATED TEAK OR CEDAR CAP RAIL, STEEL CHANNEL & CABLE RAILING | 14 | CLEAR ANODIZED ALUM REVEAL(S), MIN 3/4" WIDTH |
| 6 | HORIZ. PLANKS OR SLATS FOR SCREENING; HARDWOOD SPECIES TBD | 15 | FIBER-CEMENTITIOUS LAP SIDING (SMOOTH) WITH MITERED CORNERS, JAMES HARDIE ARTISAN LINE OR SIM, ALT. VARNISHED CEDAR PLAN SIDING |
| 7 | PAINTED FASCIA BOARD, SMOOTH FINISHING GRAIN | 16 | FIBER-CEMENTITIOUS PANELS (VERTICAL CLADDING, SMOOTH), JAMES HARDIE LINE OR SIM, ALT. HARDWOOD VENEER |
| 8 | ALUM CLAD FRENCH SLIDING DOORS AND/OR FRENCH PATIO DOORS | 17 | NBAL POST CLAD W/FIBER-CEMENTITIOUS PANELS |
| 9 | ALUM CLAD FRENCH DOOR W/REBbed GLAZING PANEL TBD BY OWNER | 18 | NOT USED |

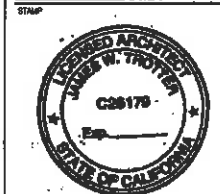


1 EXT. ELEVATION (SIDE/NORTH)
SCALE: 1/4"=1'-0"

Segment of building exceeding 30 ft height limit



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REVISIONS

| No. | Description | Date |
|-----|-----------------------|----------|
| 1 | GRADING PERMIT SUBMIT | 04/22/15 |
| 2 | GRADING PERMIT REVIEW | 04/28/15 |
| 3 | GRADING PERMIT REVIEW | 05/14/15 |
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PROJECT
GLYNN RESIDENCE
(New Construction)
318 Humboldt Road
Berkeley, CA 94705

DRAWING
EXTERIOR ELEVATIONS

NO. 2013.12
DRAWN BY JNT
SCALE 1/4"=1'-0"
DATE 04-22-15
A3.2

SUPPORTING STATEMENTS**FINDINGS REQUIRED TO GRANT A VARIANCE**

Brisbane Municipal Code Section 17.46.010

Applications for variances from the strict application of the terms of this title may be made and variances granted when the following circumstances are found to apply:

A. That any variance granted shall be subject to such conditions as will assure that the adjustment hereby authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and district in which the subject property is located.

B. That because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.

What special circumstances, such as size, shape or topography of the property, or its location or surroundings, apply to your site?

Previous owner left NW corner excavated for parking so any new construction would exaggerate the overall height at that corner relative to existing grade.

How do these special circumstances impact your site when the Zoning Ordinance is applied to the site?

As noted above, the steep drop to the road at the NW corner makes any new structure much higher in one location compared to the rest of the site, higher than zoning allows (30' max).

What privileges enjoyed by other properties in the vicinity and same zoning district would you be deprived of when the Zoning Ordinance is applied to your site, given its special circumstances?

This house includes a secondary housing unit which is allowed in the area in question is planned to accommodate parking for the 2nd unit. Without this lower section we couldn't have the parking other sites have.

What conditions of approval could be attached to the variance to assure that you comply with the intent of the Zoning Ordinance and other applicable regulations?

Verify all other sections of the proposed house meet the height requirements and that the requested allowance/ variance is provided with the condition that all parking requirements are met for the 2 units.